

**INSTRUMENT TO RECORD BUILDER GUIDELINES
LAKES OF SAVANNAH SOUTH**

29

This Instrument is being recorded by Lakes of Savannah South Community Association, Inc., a Texas nonprofit corporation (the "Association") pursuant to Section 202.006 of the Texas Property Code.

Section 202.006 of the Texas Property Code requires a property owners' association to record each dedicatory instrument in the real property records of the County in which the property to which the dedicatory instrument relates is located, if such instrument has not previously been recorded; and

Restrictive covenants and other matters concerning the Subdivision are set forth in Declaration previously recorded as follows:

First Amended Declaration of Covenants, Conditions, and Restrictions for Savannah South is recorded under Clerk's File No. 2004026391 of the Official Records of Real Property for Brazoria County, Texas and recorded amendments thereto.

The Association is currently subject to the following additional dedicatory instruments which have not previously been recorded, to-wit:

- **ARCHITECTURAL GUIDELINES FOR NEW RESIDENTIAL CONSTRUCTION BY BUILDERS ("BUILDER GUIDELINES")**
- **EXHIBIT "A" TO BUILDER GUIDELINES**
- **ADDENDUM NO. 1 TO BUILDER GUIDELINES**

Pursuant to Section 202.006 of the Texas Property Code, the Association does hereby record such additional dedicatory instruments, copies of which are attached hereto in the order set forth hereinabove.

This instrument supersedes any recorded prior instrument.

Executed on the 23rd day of December, 2011.

**LAKES OF SAVANNAH SOUTH
COMMUNITY ASSOCIATION, INC.**

By: 
Keith Schoonover, President

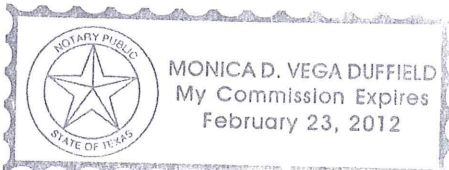
RECORDER'S MEMORANDUM:

At the time of recordation, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon, or photo-copy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.

✓ Friendswood

THE STATE OF TEXAS §
 §
COUNTY OF HARRIS §

This instrument was acknowledged before me on December 22, 2011, by Keith Schoonover, President of Lakes of Savannah South Community Association, Inc.



Monica D. Vega Duffield
Notary Public, State of Texas

WHEN RECORDED, RETURN TO:

Friendswood Development Company
550 Greens Parkway, Suite 100
Houston, TX ~~77007~~ **77067**
Attn: Monica Vega-Duffield



Lakes of Savannah

Architectural Control Guidelines
for New Residential Construction by Builders

("Builder Guidelines")

December 2011

LAKES OF SAVANNAH

Architectural Control Guidelines for New Residential Construction by Builders

("Builder Guidelines")

TABLE OF CONTENTS

I. Architectural Review Process	
A. Approval Required	1
B. Submission Procedures	1
C. Disclaimers	2
II. Site Planning	
A. Minimum Building Setbacks	2
B. Lot Coverage	3
C. Corner Lots and Intersections	3
D. Lake Lots and Greenbelt Lots	4
E. Sidewalks, Front Walkways, and Steps/Retaining Walls	4
F. Garage and Driveway Locations	5
G. Fences and Gates	6
H. Landscaping	9
I. Lot Drainage	12
III. Architectural Design and Materials	
A. Massing of Home/Scale/Proportions	12
B. Exterior Elevations and Materials	12
C. Entrances and Windows	13
D. Roof Treatment and Overhangs	14
E. Chimneys	14
F. Garage Doors	15
G. Address Markers	15
H. Lighting	15
I. Screening	16
J. Exterior Colors	17
K. Security Devices	17
L. Structured Wiring	17
M. Solar Panels	18
IV. Model Homes/Model Home Park	
A. Model Home layout	18
B. Maintenance: Model Home Exteriors & Landscaping	19
C. Model Home/Builder Signage	19

Exhibit "A" Lakes of Savannah Residential Zoning Districts
Addendum No. 1 Three Car Front-Load Garages

I. ARCHITECTURAL REVIEW PROCESS

A. Approval Required

All new construction by Builders must be reviewed and approved in writing by the Friendswood Development Company Architectural Review Committee (the "ARC") or its designee prior to clearing or construction start. This approval can be secured in a timely manner if these Architectural Control Guidelines for New Residential Construction by Builders ("Builder Guidelines") are met to the satisfaction of the ARC. A written letter of approval or disapproval from the ARC shall be sent to the party submitting the plans. The ARC reserves the right to alter the review process to ensure adequate review of submissions.

Any deviation from approved plans during or after construction without the ARC's approval constitutes a violation. Corrections of such deviations may be required at the sole discretion of the ARC. Copies of approved plans and approval letters will be kept on file by Friendswood Development Company ("FDC") until completion of the development section. Subsequent construction, exterior remodeling and/or expansion, and items not covered in these Builder Guidelines will be reviewed and approved by the ARC in accordance with the *Lakes of Savannah South Residential Improvement Guidelines for Homeowners* published and promulgated by the ARC.

B. Submission Procedures

Submit to: Residential ARC Administrator
Friendswood Development Company
550 Greens Parkway, Suite 100
Houston, TX 77067

Only complete submittals will be reviewed. All drawings shall be drawn to scale. Faxed materials will be accepted for preliminary home design and plot plan change approvals only. Deviations must be requested in writing.

1. Custom Homes

Custom homes are approved on an individual basis. Custom home plan books, if applicable, may be submitted in accordance with the provisions for "Production Homes". "Custom" plans must include the following:

- a. Site Plan with Roof Plan (scale: 1" = 20').
 - Location and dimension of all setbacks, easements and building lines.
 - Location, dimension and material notation for all sidewalks, walkways, driveways, patios, and all other exterior flatwork.
 - Total area of lot, total area (in square feet) and percentage of lot coverage of all impervious cover (as listed above plus home and garage foundation footprint).
 - Proposed location, height, and material of each exterior fence or wall.
- b. Elevations. All building elevations are required. Front Elevation(s) (min. scale: 1/4" = 1'0"). Other elevations (min. scale: 1/8" = 1'0"). Elevations shall have complete notations of all exterior materials (including but not limited to walls, doors, roof, windows, fascia, dormers, chimneys and decorative elements).
- c. Floor Plans. (scale: 1/4" = 1'0").
- d. A registered professional engineer's seal is required on all foundation drawings. It is the builder's responsibility to ensure that foundation designs be structurally adequate and comply with all applicable codes.

- e. Additional information required: builder name, address, phone and contact, legal property description, street address, site features, if any, roof pitch, exterior material detail including manufacturer and color of all materials.

2. Production Homes

Production home plans must be approved for each community and each neighborhood they are proposed. Approvals in other FDC communities do not constitute a blanket approval to build that plan in Lakes of Savannah.

a. Architectural Design:

The ARC requires one set of the following for production home plan submittals.

- Floor Plans on 11" x 17" sheets.
- Elevations on 11" x 17" sheets. All building elevations are required. Elevations shall have complete notations of all exterior materials (including but not limited to walls, doors, roof, windows, fascia, dormers, chimneys and decorative elements).
- Upon approval of a production home floor plan and series of elevations, only site/plot plan approvals are required for each home.

b. Site/Plot Plan:

Architectural Review Process Submittal Requirements:

- If required in the Developer/Builder Agreement, the design for each Site/Plot Plan must be approved in writing before construction of the residence can begin.
- Location and dimension of all setbacks, easements and building lines.
- Location, dimension and material notation for all sidewalks, walkways, driveways, patios, and all other exterior flatwork.
- Total area of lot, total area (in square feet) and percentage of lot coverage of all impervious cover (as listed above plus home and garage foundation footprint).
- Proposed location, height, and material of each exterior fence or wall.
- Lot number, block number, section number, and builder name must be clearly printed on the first page of the submittal.

C. Disclaimers

These Builder Guidelines are intended to describe a general level of conformance for development. The Builder Guidelines and the procedures set forth herein may be modified or waived from time to time by the ARC and do not supersede compliance with applicable federal, state, county, or local laws and regulations. All structures must conform to any state or local building codes, zoning ordinances, or other governmental regulations. If provisions of these Builder Guidelines are more restrictive than other applicable codes, the provisions of these Builder Guidelines apply. Neither the FDC, the ARC, nor their individual members, partners, employees, agents, or the successors or assigns of any of them shall be liable in damages to anyone submitting to them for approval of any plans and specifications or request for variances from the Builder Guidelines, or to any owner or occupant of any parcel of land affected by the Builder Guidelines, or to any third party, and the submission of plans or requests constitutes an express waiver and release of these third parties to the fullest extent permitted by law.

II. SITE PLANNING

A. Minimum Building Setbacks

Site plans must conform to restrictions set forth in the Declaration of Covenants, Conditions and Restrictions (the "Declaration"), the recorded subdivision plat, easements dedicated by separate

instruments, all applicable City of Pearland ("City") building codes, the Development Agreement between the City and FDC (the "DA") and these Builder Guidelines. FDC reserves the right to modify setback requirements which may exceed the minimum requirements noted on the recorded subdivision plat.

The setbacks shown below are measured from property line to exterior wall or slab edge (not roof eave) and are for "Typical Lot Width" within a given numbered subdivision section. The term "UDC" has reference to the City of Pearland Unified Development Code. The setbacks have been modified by the DA

SFR (PUD)	Typical Lot Width	Minimum Setbacks (per DA)			
		Front	Side	Det. Gar.	Rear
R-1	80'	Per UDC	7'6"	5'0"	20'0"
R-2	70'	Per UDC	7'6"	5'0"	20'0"
R-3	55', 60', 65'	Per UDC	5'0"	5'0"	20'0"
R-4	50', 55'	Per UDC	5'0"	5'0"	10'0"

Note: A map of current and proposed sections of Lakes of Savannah with SFR Classification is attached as Exhibit "A" to these Guidelines. The City of Pearland uses this map in determining compliance with the UDC and the DA.

B. Lot Coverage

Total lot coverage of the slab area may not exceed 45% for two-story homes and 55% for one-story homes. These percentages are approximations and apply to all areas within the property lines. Lot coverage does not include flat work such as patio, driveways, sidewalks, and walkways.

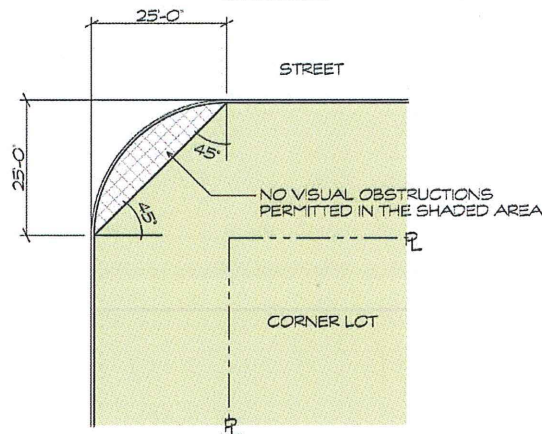
C. Corner Lots and Intersections

1. Corner Lots

Garages and driveways on corner lots shall be located adjacent to the interior property line not the property line adjacent to the side street. "Side out" garages to the side street are prohibited.

2. Intersections

Intersection areas shall be unobstructed to permit visibility of pedestrians and vehicles. No trees or other potentially opaque landscaping is permitted in an area twenty-five (25) feet in distance from each street at the corner [Figure 1]



CORNER VISIBILITY
Figure 1

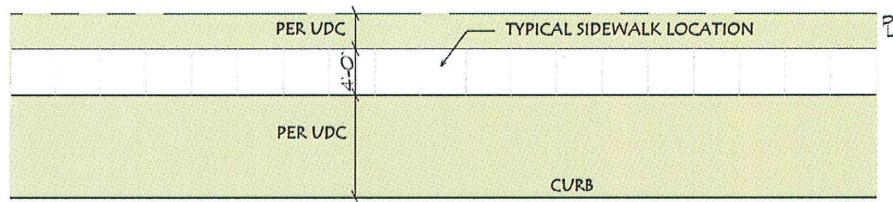
D. Lake Lots and Greenbelt Lots

Homes adjacent to greenbelts and lakes should be designed to maximize views to these amenities. Detached garages are prohibited on lake lots. Rear elevations of lake-front homes shall have materials equal to front and side elevations.

E. Sidewalks, Front Walkways, and Steps/Retaining Walls

1. Sidewalks

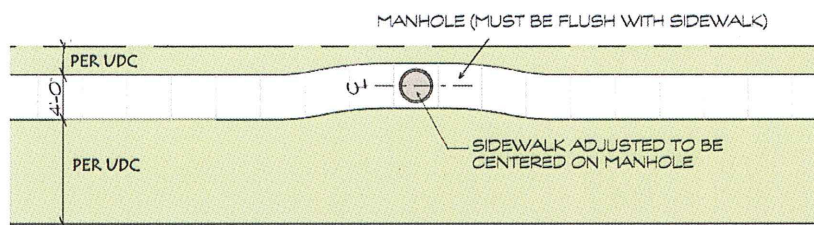
- a. Sidewalks are required in all public street rights-of-way of Lakes of Savannah. Sidewalks shall be four (4) feet wide, maximum 2% cross slope, with a light broom finish and picture frame trowel border. The sidewalk shall be located in the right-of-way, in accordance with the UDC. **[Figure 2]**



SIDEWALK LOCATION

Figure 2

- b. Sidewalks through driveways shall be five (5) feet wide, maximum 2% cross slope. The additional one (1) foot width of the driveway sidewalk shall be located closest to the lot. Sidewalks shall run continuously through front walkways and driveways, with broom finish and trowel border.
- c. Curved sidewalks are permitted only where streets curve, right-of-way width changes or other site factors necessitate. Gentle curves sections only shall be permitted.
- d. Where walkways intersect manholes, the sidewalk should be adjusted such that the manhole is centered in the sidewalk. The elevation of manholes or other objects located within a sidewalk shall be adjusted to maintain a flush surface with the sidewalk. This will typically require the removal and resetting of the manhole ring. **[Figure 3]**



SIDEWALK AND MANHOLE CONNECTION

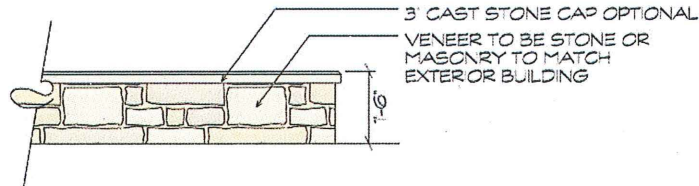
Figure 3

2. Front Walkways

- a. A walkway from the street curb or driveway to the front door is required and shall be three (3) to five (5) feet in width with a continuous slope from the edge of the porch to the street or driveway, as applicable.
- b. The walkway may be constructed of concrete, non-slip brick pavers or natural stone. Patterned concrete is not acceptable. Brick borders are approvable, subject to ARC approvable.
- c. Any curvilinear elements should be shown on the site plan.

3. Steps & Retaining Walls

- a. Retaining wall height not to exceed eighteen (18"). If greater wall height is needed, multiple 18" high walls are acceptable. **[Figure 4]**
- b. Front yard steps and retaining walls to integrate with the overall design of the front yard.
- c. Materials to match exterior building materials of home and shall be masonry or stone.



RETAINING WALL ELEVATION

Figure 4

F. Garage and Driveway Locations

1. Garages

- a. Detached two-car garages shall be set back a minimum of sixty (60) feet from the front property line. A breezeway or covered patio connecting the home to the detached garage is required.
- b. Attached two-car garages may be "front loaded" (doors facing the street) or "hook-in" (doors perpendicular to the street). Hook-in garages will require additional landscaping subject to III.I.2, below.
- c. Three car garages may be constructed in Lakes of Savannah on Lots 65' and wider, subject to the following:
 - Detached garages. Garages detached from the main home may be three-car with a driveway twelve (12) feet wide at the property line and thirty (30) feet wide at the front of the garage.
 - Split Hook garages. Split hook garages have two garages, a two-car and a one-car one parallel to the street and one perpendicular to the street. Split Hook garages are subject to ARC approval and to the motor court screening requirements in III.I.2, below.
 - A limited number of front loading three car garages may be used, subject to ARC approval and the provisions of Addendum No. 1 to these Guidelines, attached herewith.

2. Driveways

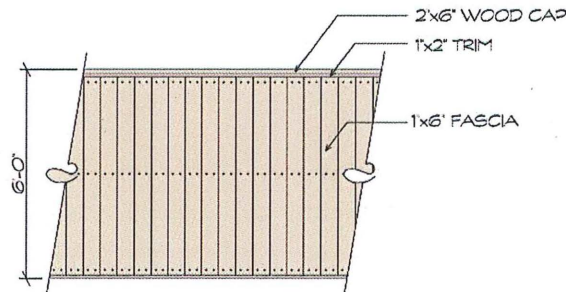
- a. Design: All driveway designs are subject to review by the ARC.
- b. Location: A driveway master plan for a development section may be provided by FDC. Location variances may be requested in writing and must include justification for deviating from the desired driveway location (such as construction conflicts of inlets, fire hydrants, flushing valves, manholes, etc.).
- c. Curb Style: At four inch (4") mountable curbs, no saw cuts are permitted. At six inch (6") barrier curbs, in accordance with City or county standards, saw-cut street and curb and tie in driveway steel. Builder is solely responsible for realigning grade of the gutter flow line in accordance with regulations and shall repair damaged curbs and gutters which cause ponding water ("bird baths") resulting from their construction activities.
- d. Alignment: Perpendicular to the street with a five (5) foot radius on driveway apron. The joint will be constructed in conformance to City requirements.

- e. Width:
 - Attached front loaded garage – Maximum of eighteen (18) feet wide at front property line
 - Detached garage – Maximum of twelve (12) feet wide at front property line to front building line where it may then transition to a wider width.
 - Any other configurations (including hook-ins or three car driveways) are subject to ARC review and approval.
- f. Setback (between the driveway and the adjacent side property line):
 - Attached front loaded garage, detached garage and side by side driveways – minimum three (3) foot side lot setback.
 - A five (5) foot radius driveway apron is required and shall not extend beyond the side property line.
- g. Materials and Finish: Concrete or other masonry materials (e.g. interlocking pavers, and brick borders) relating to the architecture of the home and other site materials. Materials other than standard concrete must be submitted to the ARC for approval. Where the driveway intersects the sidewalk, the driveway finish may not continue through the sidewalk.

G. Fences and Gates

1. Wood Fencing:

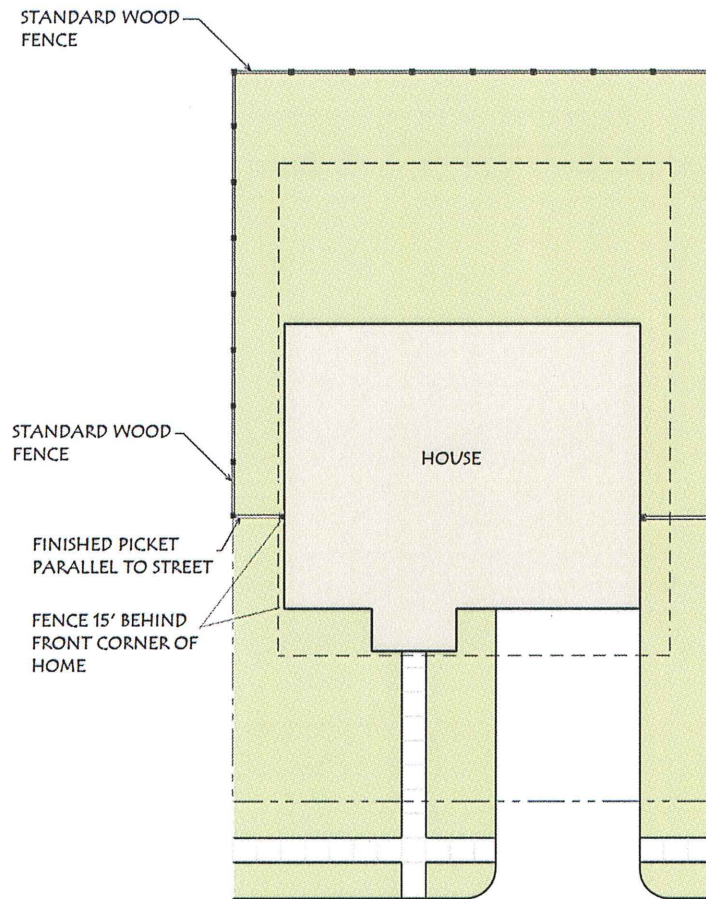
- a. Materials:
 - Pressure-treated pine posts and stringers, with posts on a maximum of eight (8) foot centers with a minimum of two stringers. The top stringer shall be a sixteen (16) feet to prevent sagging between posts. Pickets to be No. 2 grade 1" x 6" cedar. No other materials are acceptable.
 - Posts must have a minimum of two (2) feet buried in the ground, plumbed vertical and anchored in a concrete pack in accordance with geotechnical recommendations.
 - Fence pickets shall be secured to the fence posts and rails with hot-dipped galvanized nails or other non-corrodible fasteners.
- b. Construction:
 - Interior Lots. Standard fence construction shall have a posts with a minimum of five (5) foot exposure, with dog-eared pickets nominally six (6) feet above natural ground. Two to three stringers. Placement of pickets to be "good neighbor" or picket-side out, depending on location.
 - Corner Lots: Capped wood fences will be required on corner lots. Capped wood fences shall have six (6) foot posts, three stringers, with a 2" x 6" cedar cap, 1"x 6" pickets (fascia) and 1"x 2" cedar trim affixed to the top stringer. The finished, or picket-side of the fence must face any public view. **[Figure 5, Next Page]**



CAPPED FENCE CONSTRUCTION
Figure 5

c. Good Neighbor Construction:

- A "good neighbor" fence policy is required on interior exposures (i.e. where lots are adjacent to one another). Alternating sections are to occur at regular fence post intervals only, so that an entire panel is dedicated to one lot and the following panel is dedicated to the adjacent lot and so forth. In this manner, both lots receive approximately the same exposure to finished sides of a picket fence structure.
- Good neighbor construction is prohibited on any public exposure (i.e. streets, greenbelts, drainage ways and such).



INTERIOR LOT - FENCE LOCATION
Figure 6

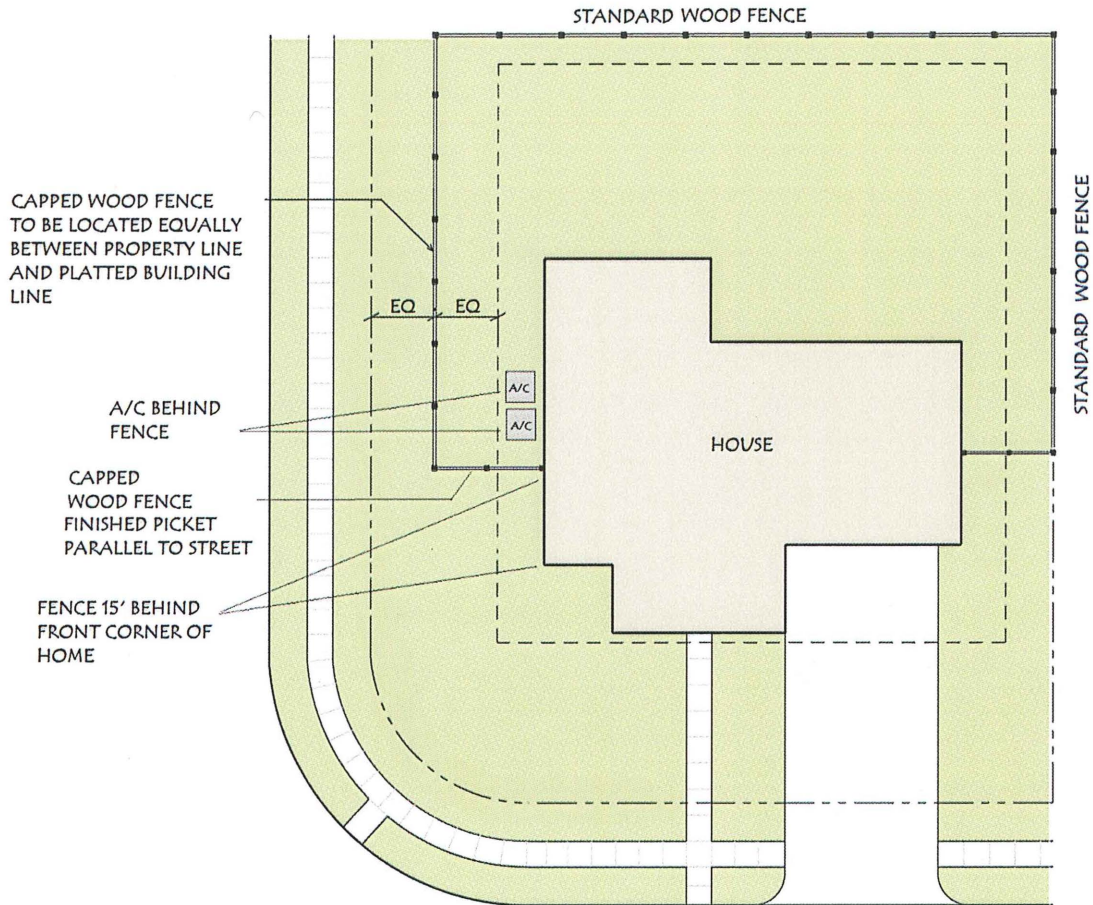
d. Height:

- Typically limited to six (6) feet nominal measurement above natural grade.
- Builder may be required by ARC to construct eight (8) foot high fences where perimeter conditions warrant.

e. Location:

- Interior Lots. Fence must be set back no further than fifteen (15) feet from the front corner of the home. Air-conditioning units and public utility meters and services will typically be in front of the side Lot fence. **[Figure 6, Previous page]**
- Corner lots. Fence must be located halfway between the property line and the building line. For example, if a corner lot building line is ten (10) feet, the fence must be located five (5) feet within the property, not on the property line. No variance will be granted for violating this provision. **[Figure 7]**

The fence perpendicular to the side street (parallel to the front street) may be set back as necessary to provide for access to public utility meters, but must be far enough forward to screen the air conditioning units. However, in no case may the fence be closer than five (5) feet behind the front of the home, and no further back than fifteen feet (15) from the corner of the home.



CORNER LOT – FENCE LOCATION
Figure 7

2. Ornamental Steel Fencing

a. Location:

- Ornamental steel fencing shall be required on the rear property line of lots adjacent to water bodies, detention ponds and other specifically-identified lots, and shall extend fourteen (14) feet along the side property lines. [Figure 8]

b. System Description:

- Fence shall be galvanized and powder coated, painted flat black **Montage Classic 2/3 Rail** or equivalent.
- Fence shall be standard height of six (6) feet measured from natural grade.

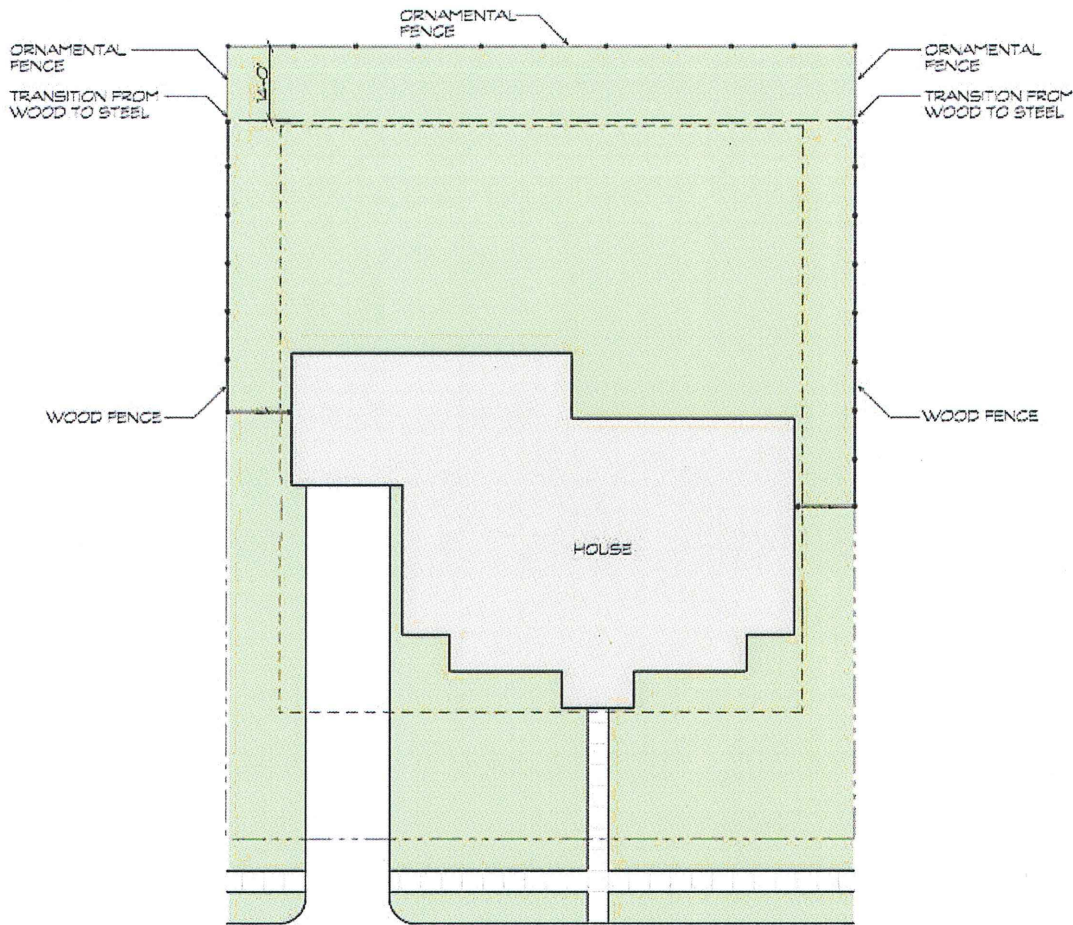
c. Quality Assurance:

- System shall be installed by contractor thoroughly familiar with the type of construction involved, materials and techniques specified.

3. Special Conditions:

- a. The finished side of a fence should always face the exterior or public side. Any exposures to greenbelts, ditches, or detention basins will be considered public view.

- b. Where residential lots are located adjacent to either commercial, institutional, or other public sites, the finished side of a fence should always face the non-residential use.
- c. Breezeway fences connecting detached garages to the main residence may be ornamental steel or wood. Fence may be four (4) feet or six (6) feet.



ORNAMENTAL STEEL FENCE LOCATION

Figure 8

- 4. Gates:
 - a. One (1) pedestrian gate shall be required to allow access between front and rear yards. Gates are permitted to access adjacent open space but shall not be located adjacent to public rights-of-way with landscape setbacks.
 - b. Gates shall be constructed as follows:
 - Same materials, quality and height as the adjoining fence. If the adjoining fence is ornamental steel, all hardware shall be painted the same color as the fence.
 - Width not to exceed forty-two inches (42") without ARC approval.

H. Landscape Requirements

- 1. Yard Trees:
 - a. Yard Trees are trees located behind the front sidewalk line and in front of the main structure of the home. The specific number of Yard Trees required for each lot depends on lot width. The following standards should be adhered to for the appropriate lot widths specified.

Typical Lot Width	Yard Trees Required			Yard Tree Species	
	Interior Lot	Court Lot ⁽¹⁾	Corner Lot	Hardwood	Pine
50'	1	1	2	1	1
55'	2	1	2	1	1
60'	2	1	2	1	1
70'	3	2	3	2	1
80'	3	2	3	2	1

Note: ⁽¹⁾ A "Court Lot" is a Lot that (i) is less than the Typical Lot Width at the street and (ii) has a 20' building line mandated by the Plat or the UDC (as applicable). Court Lots are typically on courts, cul-de-sacs and certain inside corners.

- b. Builders may substitute hardwood trees for pine trees, but may not substitute pine trees for hardwood trees.
- c. Each Yard Tree must be a minimum of three inches (3") in caliper when measured twelve inches (12") above grade. Yard Trees must have a minimum height of ten (10) feet and a minimum spread of five (5) feet.
- d. Yard Trees should generally be located in the larger part of the yard.

2. Street Trees:

- a. Street Trees are planted between the curb and sidewalk. Street trees must container-grown live Southern Live Oaks measuring one and one-half inches (1½") in caliper when measured twelve inches (12") above grade. Street Trees must have a minimum height of eight (8) feet and a minimum spread of five (5) feet. [Figure 9, next page]

Typical Lot Width	Minimum Street Trees Required ⁽²⁾		
	Interior Lot	Court Lot ⁽¹⁾	Corner Lot
50'	1	1	4
55'	1	1	4
60'	2	1	5
65'	3	1	6
70'	3	2	6
80'	3	2	6

Notes: ⁽¹⁾ A "Court Lot" is a Lot that (i) is less than the Typical Lot Width at the street and (ii) has a 20' building line mandated by the Plat or the UDC (as applicable). Court Lots are typically on courts, cul-de-sacs and certain inside corners.

⁽²⁾ The number of Street Trees shown for Interior or Corner lots is the total required for each Lot. However, more Street Trees may be required on oversized Lots.

- b. Street trees should generally be placed thirty (30) feet on center. However, in no case may street trees be installed within the "open-site area" described in II.C.2 above.



TREES AND STREET TREES (60' LOT CONFIGURATION SHOWN)

Figure 9

3. Foundation Shrubs and other Vegetation

In addition to the tree requirements above, individual lots must meet the following minimum landscaping requirements:

- At least fifteen (15) foundation shrubs per lot should be installed in the front yard with a minimum container size of five (5) gallons.
- At least one (2) vertical foundation accent shrubs per lot should be installed in the front yard; with a minimum container size of five (5) gallons
- Primary shrub treatment in the front yard shall be within the back third of the front of the home. This is not to preclude additional landscaping in other areas of the front yard.
- A continuous wax ligustrum hedge is required on corner lots along the entire length of the side fence. The hedge shall be a minimum of five (5) gallon ligustrum, thirty inches (30") on center. [Figure 9, previous page]

4. Grass Coverage

All areas exposed to public view (front yards, greenbelt views, etc.) shall be solid-sodded with St. Augustine grass.

I. Lot Drainage

Finished lot drainage is the sole responsibility of the builder and includes the following requirements:

- Positive drainage flow should be established and directed away from structures using swales.
- Drainage runoff onto adjoining lots is prohibited.
- If additional drainage improvements are necessary, area drains are recommended.

FDC endeavors to provide engineered and developed lots that enable builders to achieve positive site drainage of 1.0% to 3.0% generally with a slope of 2.0% as a typical slope from the rear of lots to the street. In some circumstances, drainage may be directed to property at the rear of lots, permissible only when approved by FDC.

III. Architectural Design and Materials

Appropriate variety and individuality is encouraged in home architecture. Requirements of specific neighborhoods or sections may supersede this section to reinforce a particular architectural theme.

A. Massing of Home/Scale/Proportions

The massing of a home should be reasonably scaled to the street and the surrounding homes. Homes should have massing variations and avoid the "straight box" design. Pieces of the home should be scaled appropriately to each other. In production home programs, attached garages shall protrude no more than 10 feet from the front plane of the main residence. In custom home programs, attached front loading garages should be recessed from the front plane of the home with architectural detail.

B. Exterior Elevations and Materials

1. *Exterior Elevations*

Exterior elevations shall include a variety of major and minor architectural features. Major architectural features include but are not limited to: roof pitch or style (i.e. hip, gable), porches, dormers, entry portico, change of material and window bay. Minor architectural features include but are not limited to: window style (i.e. flat or arched), front door style, garage door style, shutters and decorative detail (i.e. gable inset). To be considered distinct from a similar elevation, an elevation shall include two (2) major architectural differences and two (2) minor architectural differences.

Flat, blank elevations on any side shall not be allowed. Windows must occur on all street facing elevations of homes (excluding patio homes or zero-lot-line homes).

2. *Repetition of Elevation*

Elevations in production home portfolios should: avoid monotony, maintain continuity of scale and character, avoid the negative "look-alike" effect of frequent repetition and allow sufficient latitude for the builder in satisfying market demand. Builders must conform to the following:

- a. Plan repeat with the same front elevation design: every sixth consecutive lot. Thus, at least five other homes must occur between the next repeated same front elevation. Differ brick and trim color of repeated elevation.
- b. Plan repeat with different front elevation: every third consecutive lot. Thus, at least two other homes must occur between the next repeated floor plan with a different front elevation design. Differ brick and trim color. Patio home brick and trim color may be consistent.
- c. The ARC reserves the right to reject an elevation that closely resembles that of a nearby home or in any way detracts from the overall street scene. Additionally, identical brick color and type, and siding color, are prohibited on homes that are adjacent to one another. A custom home may not be repeated within any given section.

3. Exterior Materials

No more than three exterior wall materials are allowed. All exterior walls on the first floor shall be brick, stone or stucco. On two-story homes, the front elevation must be predominantly brick, stone or stucco. On side elevations of the second story, a fifteen (15) foot wrap of the brick, stone or stucco on the side elevation is required. Brick, siding and trim colors are addressed in Paragraph J.

- a. Brick: Brick shall be hard-fired and have an overall appearance of relative evenness in color and texture. Painted brick may be permitted where deemed appropriate by the ARC for a particular architectural style.
- b. Siding: Where siding is used, it shall be fiber-cement, horizontal lap siding, eight inch (8") exposure (*Hardiplank[®] Select Cedar Mill* or equivalent). Diagonal siding, board and batten, and panel siding are prohibited. Wood, vinyl, metal, and particleboard are prohibited siding materials.
- c. Trim: All trim shall be smooth/semi-smooth, high quality finish grade stock wood or fiber-cement (*Harditrim[®] Select Cedar Mill, Harditrim[®] Smooth*, or equivalent).
- d. Stucco: Stucco is permitted if appropriate to the style of architecture and if approved by the ARC.
- e. Stone: Stone veneer may be natural cut stone or manufactured stone veneer such as *Cultured Stone[®]*.
- f. Synthetic Materials: Materials such as metal siding, vinyl siding, and other materials which have the appearance of wood, or stone must be reviewed to ensure a quality appearance for approval by the ARC.
- g. Material Changes: Changes to exterior wall material should have a logical relationship to the massing of the home. Material changes on a common wall plane that occur along a vertical line should be avoided wherever possible.
- h. Awnings: Awnings over entrances or windows are prohibited.

C. Entrances and Windows

1. Entrances

All openings in a structure such as windows and doors should relate to each other on all elevations both vertically and horizontally. This should occur in some clearly defined order, and scattered or random placements should be avoided. Both entrances and windows should be in proportion as they relate to the building mass as a whole. All sides of a home should receive equal design consideration. Reflective glass is prohibited.

2. Windows & Shutters

Windows, like entrances, should be compatible with the overall building mass and architectural character and quality of the elevation.

If shutters are incorporated as part of the design, they should be appropriately scaled to relate to the window opening and appear authentic. They must also always occur in pairs. The shutter color must harmonize with the other colors on the home. Where shutters are used on a home located on a corner lot, they should occur on the side street elevation as well as the front.

Windows on the front elevation (first and second floors) must be consistent with the design of the elevation of the homes. Windows on other elevations may be divided lite or single pane, bronze or white bronze.

D. Roof Treatment and Overhangs

1. Materials

25-year warranty, three-dimensional composition asphalt shingles in earthtone colors. All shingles within a given neighborhood shall be the same color.

2. Form

The form and massing of the roof should have a logical relationship to the style and massing of the home. Roof pitches should be applicable codes, but must be a minimum of 8 in 12 and not steeper than 12 in 12 for the main body of the roof.

The roof height should not exceed three-fourths ($\frac{3}{4}$) of the total elevation area for single story homes and one-half ($\frac{1}{2}$) the total elevation area two story homes.

Fascia depths should be in scale with the mass of the elevation, but the face of the fascia board must be at least six inches (6") nominal in size.

3. Overhangs

Overhangs should be compatible with the architecture of the home and function as shading devices. Care should be taken not to exaggerate their lengths or provide too small of an overhang. Overhangs should be more pronounced on eave conditions while rake conditions should receive a much more moderate overhang.

4. Roof Penetrations

Roof vents, utility penetrations, or other roof protrusions must be painted to match the singles. Skylights should not be visible from the front street.

5. Gutters & Downspouts

Gutters and downspouts should be strategically placed to minimize their visibility to the front street. Preferably, downspouts should occur only at the rear and sides of a home. Placement on the front elevation should be avoided as much as possible, but may be used to avoid water runoff at front entrances.

Gutters and downspouts must match or be very similar to the color of the surface to which they are attached. Downspouts must be installed vertically and in a simple configuration. All gutters and downspouts on standard lots must be installed so water runoff does not adversely affect adjacent properties.

6. Exposed Roof Metal /Antennas

All exposed stack vents, skylight curbs, attic ventilators, and other metal roof accessories shall match or closely resemble the roofing color.

All stack vents and attic ventilators shall be located on the rear roof slopes perpendicular to the ground plane. They shall not be visible from public areas and should be placed in a location which is least visible from adjoining property.

Roof-mounted ventilators shall be no higher than ten inches (10") above the roof surface.

E. Chimneys

If chimneys protrude from an elevation and are located on the front elevation, the side-street side elevation of a corner lot or the rear elevation on a lake, or greenbelt lot, the chimney must be brick, stone or stucco, in conformance with the architecture. Prefabricated metal flues should be clad in approved materials to create the image of a traditional masonry chimney. The use of wood or fiber-cement siding is not allowed at these locations.

If a chimney is interior to the roof (not on an external elevation) or at the rear or non-corner side of a home, it must be constructed of materials that match the architectural style and color of the home. Acceptable materials include masonry, brick, stucco, wood or fiber-cement siding.

Spark arrestors and caps are required on all chimneys. The spark arrestor and cap should be unadorned, non-ornamental and designed to match or be compatible with the color and material of the exterior elevations of the home. Caps must be of metal or masonry construction.

Heights of chimneys shall meet all fire code requirements and be proportional to the roofline of the respective home. Metal chimneys, if used, shall not exceed a maximum exposed height of 6 inches of chimney pipe nor a maximum height of 18 inches of total exposed metal including both chimney pipe and cap.

F. Garage Doors

Two single doors or one double door may be used where garages are two-car, front-loaded and attached. The two single doors are less likely to dominate the front facade or to appear as a blank wall.

Additionally, garage doors should be relatively unadorned while remaining compatible with the architecture of the home and elevations. Panel doors are encouraged to help downscale the effect of a garage door.

G. Address Markers

1. Visibility

The address number must be visible from the street. The scale of the address number may vary according to the scale of the home, but may be no larger than 6 inches in height and must be placed in a horizontal line. The street name is not permitted on the exterior of the home.

2. Style

No particular letter type style is required, but numbers must be Arabic and must be easily read from the street.

3. Location

The number for address identification should be inset into the brick either next to the front door or on the front of the home. Internally-lit address numbers are not permitted.

H. Lighting

The type, color, and quality of exterior lighting for the site and home must be consistent with other lighting on the property and in the neighborhood. Incandescent lighting is preferred. However, the ARC recognizes that new lamps and bulbs are available and will review alternative types. No high-wattage, commercial/industrial-type fixtures, mercury vapor, or sodium-vapor light sources are allowed in any location.

1. Floodlighting

Floodlighting fixtures must be attached to the home or other architectural structure and must not illuminate adjacent public or private properties. Lights must be directed downward and shielded to avoid "hot" glare spot visible by neighbors. Fixture and shield color should be compatible with the building. Conduits and wiring must be concealed.

2. Exterior Lighting Fixtures

All exterior light fixtures visible from the street or other public areas must be of an understated design that complements the architectural style of the residence.

3. Walkway Lighting

Walkway lighting should be an inconspicuous bollard or dome light design. The lamp may be incandescent (100w maximum), quartz (75w maximum), metal halide (75w maximum), fluorescent (25w maximum), or white L.E.D.

I. **Screening**

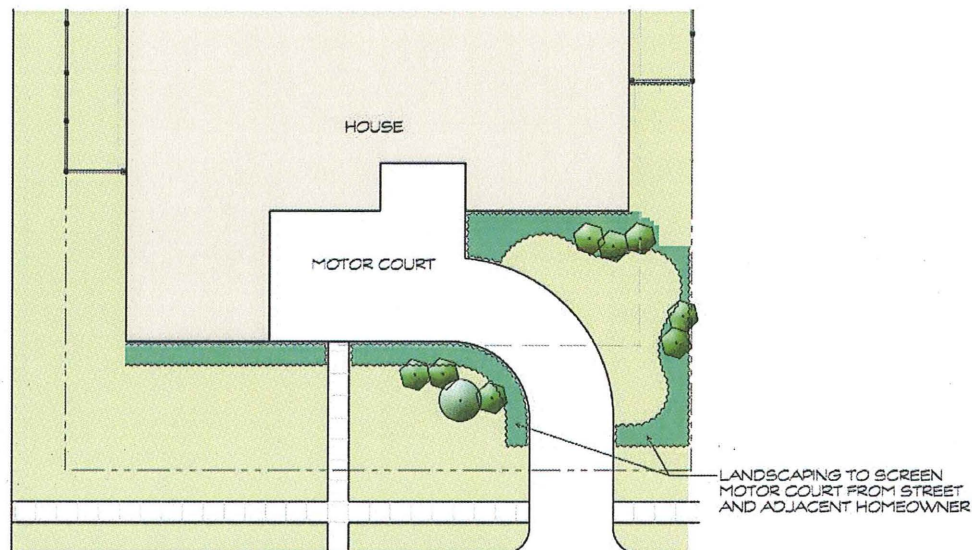
Fences, walls and landscaping are acceptable screening materials. All wood fences must be constructed in accordance with these Builder Guidelines and screened with a combination of trees and shrubs.

1. Air Conditioning Equipment & Home Generators

On corner lots, side-lot air conditioning compressors and home generators must be enclosed behind the side lot fence. On interior lots, air conditioning compressors and/or home generators may be enclosed in the side lot fence or screened from public view by landscape materials.

2. Driveway and Parking Areas

Additional landscaping will be required where Builder installs a hook-in or split-hook garage on any home. Additional landscape materials shall be installed to minimize the amount of paving visible from public area. No paving shall be located closer than three (3) feet to a side property line. [Figure 10]



DRIVEWAY MOTOR COURT
Figure 10

J. **Exterior Colors**

Color variety among homes is required. The ARC shall determine whether near or adjacent homes' brick or trim colors are too similar to allow. No more than three colors (plus brick or stone color) shall be permitted. Trim color and field color must vary.

1. Paint

Exterior paints and stains shall complement colors of other materials. Siding and trim should generally stay within the earthtone color family. White and cream trim is permitted. Extremely

bold or primary colors are prohibited. Bright yellow, blue, or green pastels are discouraged. Soft, muted earthtone pastel colors are acceptable.

2. Brick

Acceptable brick colors are in the earthtone color family. Very dark colored brick is discouraged. No one brick color should dominate a particular street scene. Variety in brick color is strongly encouraged. A brick color may be repeated every fifth home including same and opposite side of street.

3. Stone Veneer

Stone Veneer shall be natural stone or manufactured stone of similar color other regional stone color deemed appropriate with the project character as approved by the ARC.

K. Security Devices

No security devices such as sirens and speaker boxes shall be visible from a public view and, if possible, shall be located inside the home. Security devices should be the minimum effective size and be located unobtrusively. These Builder Guidelines also prohibit security and/or burglar bars on the exterior of homes unless specifically approved by the ARC prior to installation.

L. Structured Wiring

It is the intent of these guidelines to provide an appropriate package of structured wiring to all homes in Lakes of Savannah. "Structured Residential Wiring" is a centralized method of organizing and distributing coaxial cabling, data and security wiring from a central distribution point for flexibility, accessibility and future expansion for each home.

1. Cabling

- a. Telephone and Data Cable: Category 5 Enhanced ("Cat 5e") solid wire, UTP, Type CMR. As appropriate, Builder should use shielded or plenum rated Cat 5e. Cabling shall be terminated to EIA/TIA standards for phone and data interchangeability.
- b. Video Cable: RG-6 quad-shielded coaxial cable ("RG6").

2. Installation Criteria

- a. Installation shall be in accordance with manufacturer's recommendation. Installers should demonstrate satisfactory knowledge of, and construction should be in general compliance with ANSI/EIA/TIA Residential Structured Wiring Standards.
- b. Certification of each home network is not required.

3. Distribution Panel

- a. All cabling is to be home-run to a 14" x 28" Distribution Panel which is to be located in climate controlled space within the home. The size of the distribution panel will provide room for installation of routers and such devices by homeowner.
- b. A dedicated 110v AC electrical outlet shall be located within the Distribution Panel.

4. Service feed to Network Interface Device(s)

- a. The Network Interface Device (NID) is a device that serves as the demarcation point between the phone and cable providers' point of service and the Distribution Panel. NIDs are typically provided by the cable and phone providers.
- b. Service feeds from the NID to the Distribution panel are to be made with two (2) Cat5e and two (2) RG6 cables. Service feeds will be made available to cable and telephone providers.

5. Distribution Points

- a. Minimum Distribution Points include all bedrooms, family room, living room, kitchen, dining room, computer alcove and other such rooms.
- b. All Distribution Points are to be terminated with a minimum of one (1) data and one (1) video outlet. Additional data and video are recommended in family rooms or entertainment centers.
- c. Attic (satellite pre-wire): Three RG6 cables. Terminate normally in Distribution Panel, do not terminate in attic. Install with an extra ten (10) feet of cable to allow for termination by satellite dish installer.

M. Solar Panels

A Solar Panel (or Solar Module) is a packaged interconnected assembly of solar cells, also known as photovoltaic ("PV") cells. The Solar Panel can be used as a component of a larger photovoltaic system to generate and supply electricity to individual residences on a Lot. To be approved as a Solar Panel, the installation must produce Alternating Current ("AC") for the use on a Lot or Single Family Residence ("Residence") on the Lot. All other solar energy devices are prohibited during the Development Period defined in the Declaration.

1. Mounting Location

Solar Panels may be mounted on roof surfaces with back lot and/or side lot exposure. Solar Panels may not be mounted on any pergola or outbuilding. In no case may any Solar Panel be mounted on any roof surface parallel to the front street (i.e. the street of address) of any Residence.

2. General Product Specification.

Solar Panels mounted on the roof of a Residence are to be black in color, with a low-profile mount allowing no more than four inches (4") between the roof shingles and the base of the Solar Panel. The ARC reserves the right to maintain a list of approved Solar Panels for roof installation. Typical installation shall be a single array on one roof surface. In cases where a residence may have limited southern exposure, two separate arrays may be employed.

3. Solar Shingles.

Solar Shingles are solar cells designed to look like conventional asphalt shingles. Solar Shingles are approvable for installation subject to the restrictions of use for Solar Panels. The ARC reserves the right to approve colors for Solar Shingles.

IV. Model Homes/Model Home Park

A. Model Home Layout

1. Modifications

Model home sale offices shall emulate the home to be sold as closely as possible. Before closing, all model modifications (including but not limited to front yard fencing, atrium doors in lieu of overhead garage doors, floodlights, etc.) must be removed and the home restored to a standard appearance.

2. Yard Lights

Yard lights are required to illuminate model homes from dusk to 10:00 p.m. Other types of illumination may be approved by the ARC.

3. Fencing

Front yard fencing shall be metal picket, maximum four (4) feet in height. Rear yard wood fencing is allowed. All fence designs must be submitted to the ARC.

4. Flag Poles

A maximum of one (1) flag pole per model home site, per builder will be allowed, displaying one (1) flag (U.S., Texas or builder flag). Building-mounted flagpoles are not permitted. Flagpoles shall be one piece construction of brushed anodized aluminum not to exceed 35 feet in height with proportionate diameter. Flag length should be one-fourth the height of the pole on which it is mounted. Flags and/or poles must be replaced when they become faded or worn.

B. Maintenance: Model Home Exteriors and Landscaping

1. Model Homes Exterior

Exterior of model homes should be kept in a new and fresh condition. Doors, siding, and trim are to be kept clean and painted when necessary. If, in the opinion of the ARC, areas of a model home require refurbishing, the ARC will give the respective home builder two weeks' notice in writing in which to correct the deficiencies.

2. Landscaping

Front and rear yards of all model homes shall be landscaped including fully sodded yards and foundation plant material. Front yard and street trees will be planted in accordance with previously promulgated rules of the ARC and these Builder Guidelines. A minimum of one (1) rear yard tree is required.

C. Model Home/Builder Signage

1. Model Home

One (1) yard sign per lot is allowed for the purpose of advertising a particular builder name or to advertise the property for sale or rent. No additional sign, advertisement, billboard, or advertising structure of any kind shall be displayed to public view on any lot.

2. Lot Signage

Builders will be allowed one (1) yard sign per builder, per Model Park. The sign may be a maximum of 32-sq. ft. in area. Base landscaping is required. The sign will be allowed for a period of time commensurate with the model homes sales program only. Model identification signs may not exceed three (3) square feet. In addition, one sign no larger than three (3) square feet may be used to indicate whether a model home is open/closed and the hours of operation only. This sign must be close to the front door.

3. Directional Signage

Builder may not place any directional signage on property belonging to FDC, Lakes of Savannah or Community signage, but shall rely on developer's unified signage program.

No additional signs, advertisements, billboards, or advertising structures of any kind shall be permitted. The ARC has the right to remove any sign, advertisement, billboard, or advertising structure which violates these restrictions. All model home signage packages must be submitted to the ARC for review and approval.

Lakes of Savannah

Architectural Control Guidelines
for New Residential Construction by Builders
(Builder Guidelines)

Addendum No. 1
Three Car Front-Load Garages

A. STATEMENT OF PURPOSE:

The purpose of this Addendum No. 1 to Builder Guidelines ("Addendum") is to supplement the *Lakes of Savannah Architectural Control Guidelines for New Residential Construction by Builders* ("Builder Guidelines") and provide direction to Builder for the planning, design and construction of homes with attached Three Car Front-Load Garages in Lakes of Savannah.

This Addendum is applicable only to the 65', 70' and 80' Lot programs in Lakes of Savannah. Three car front-load garages are not permitted on 50', 55' or 60' Lots.

The Addendum is not intended to replace any section of the Builder Guidelines except as specifically noted below. In the event of a conflict between this Addendum and the Builder Guidelines, this Addendum shall control.

B. DEFINITIONS:

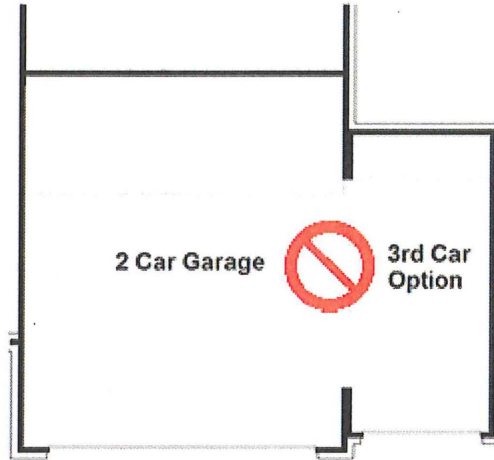
The following defined terms shall be used exclusively with reference to this Addendum. All other capitalized terms shall have the same meaning as in the Builder Guidelines, or as defined in Paragraph A., above.

1. "Three Car Front-Load Garage" or "Garage" shall mean and refer to a garage with three bays side-by-side that face toward the front of the home, with front-facing garage doors which provide for free and unencumbered access by owner's motor vehicles.
2. "Garage Bay" or "Bay" shall mean and refer to a standard 10' x 20' Garage Bay. Garage Bays may be wider or deeper based on the configuration of the residence. However, the Garage must retain the appearance of having three standard Garage Bays. For the purposes of this Addendum, reference is made to the "Main Bay" which is a double Bay with a double garage door and the "Third Car Bay" which is the single bay with a single garage door.
3. "Porte-Cochère" shall mean and refer to covered area of at least five (5) feet covering all three Garage Bays and integral to the architecture of the residence.

C. ARCHITECTURAL CONSIDERATIONS:

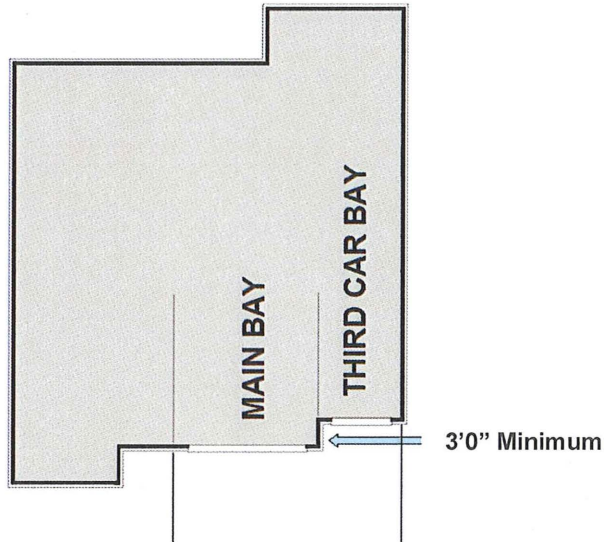
1. *Massing of Home/Scale/Proportions*

- a. Any Three Car Front-Load Garages shall be integral to the overall architecture of the home and appropriately designed for the lot size. Any "add-on" or "optional" garage on a smaller home plan is not approvable [Figure 1].



EXAMPLE OF PROHIBITED THREE CAR FRONT-LOAD GARAGE OPTION
Figure 1

- b. The Third Car Bay must be set back at least three (3) feet from the adjacent Main Bay. [Figure 2].



EXAMPLE OF ACCEPTABLE THREE CAR FRONT-LOAD GARAGE OPTION ILLUSTRATING
SETBACK OF THIRD CAR BAY FROM MAIN BAY
Figure 2

- c. For homes with a three car Porte-Cochère (which sets back all three Garage Bays), all Garage doors may be on the same plane [Photo 1].



THREE CAR FRONT-LOAD GARAGE WITH PORTE-COCHÈRE
Photo 1

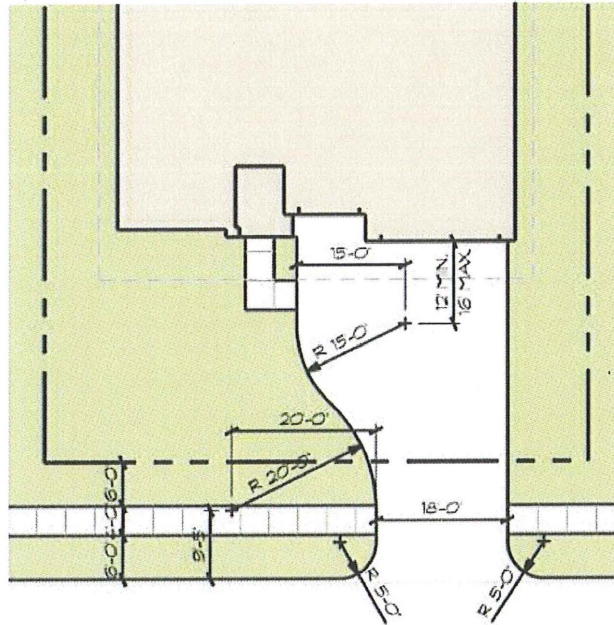
2. Garage Doors

- a. The use of three single garage doors is prohibited. Builder will be required to use one single garage door for the Third Car Bay and one double garage door for the Main Bay. The doors may be either seven (7) or eight (8) feet in height. Taller doors are subject to ARC review and approval.
- b. Color, trim and hardware for each garage door is to be identical.

3. Repetition

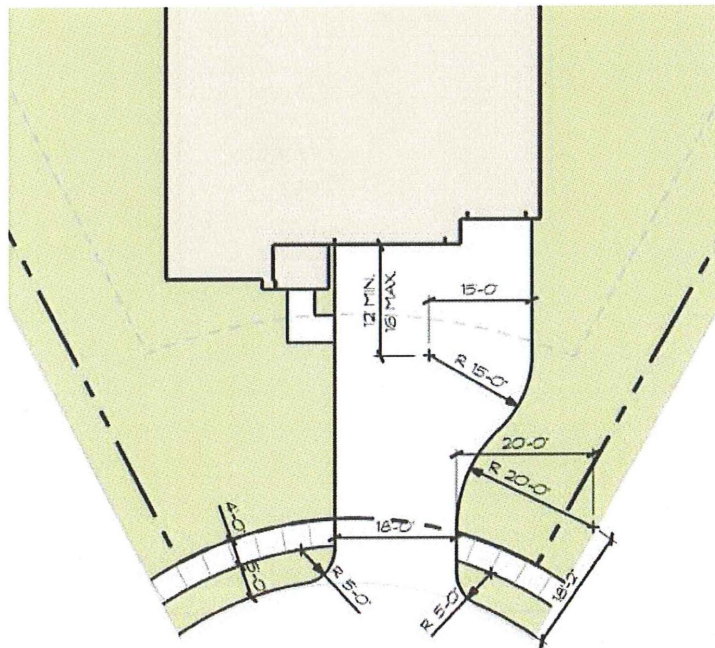
In addition to the limits of plan and floor elevation outlined in Section III, Paragraph B.2 of the Builder Guidelines, the use of Three Car Front-Load Garages is limited, as follows:

- a. No more than 25% of its homes in any given numbered subdivision section may have Three Car Front-Load Garages. This limitation applies per Builder and the entitlement may not be exchanged between Builders in the section.
- b. A home with a Three Car Front-Load Garage may only occur every third consecutive lot, meaning that two other homes with other driveway/garage configurations must occur between homes utilizing a Three Car Front-Load Garage.
- c. Notwithstanding the provisions of 3a. and 3b. above, FDC may specifically (by lot assignment) limit or specify locations of Three Car Front-Load Garages in any numbered subdivision section.
- d. If Builder is unable to maintain repetition with plans having a Three Car Front-Load Garages, the plan will have to be modified to eliminate the Third Car Bay [Photo 2].



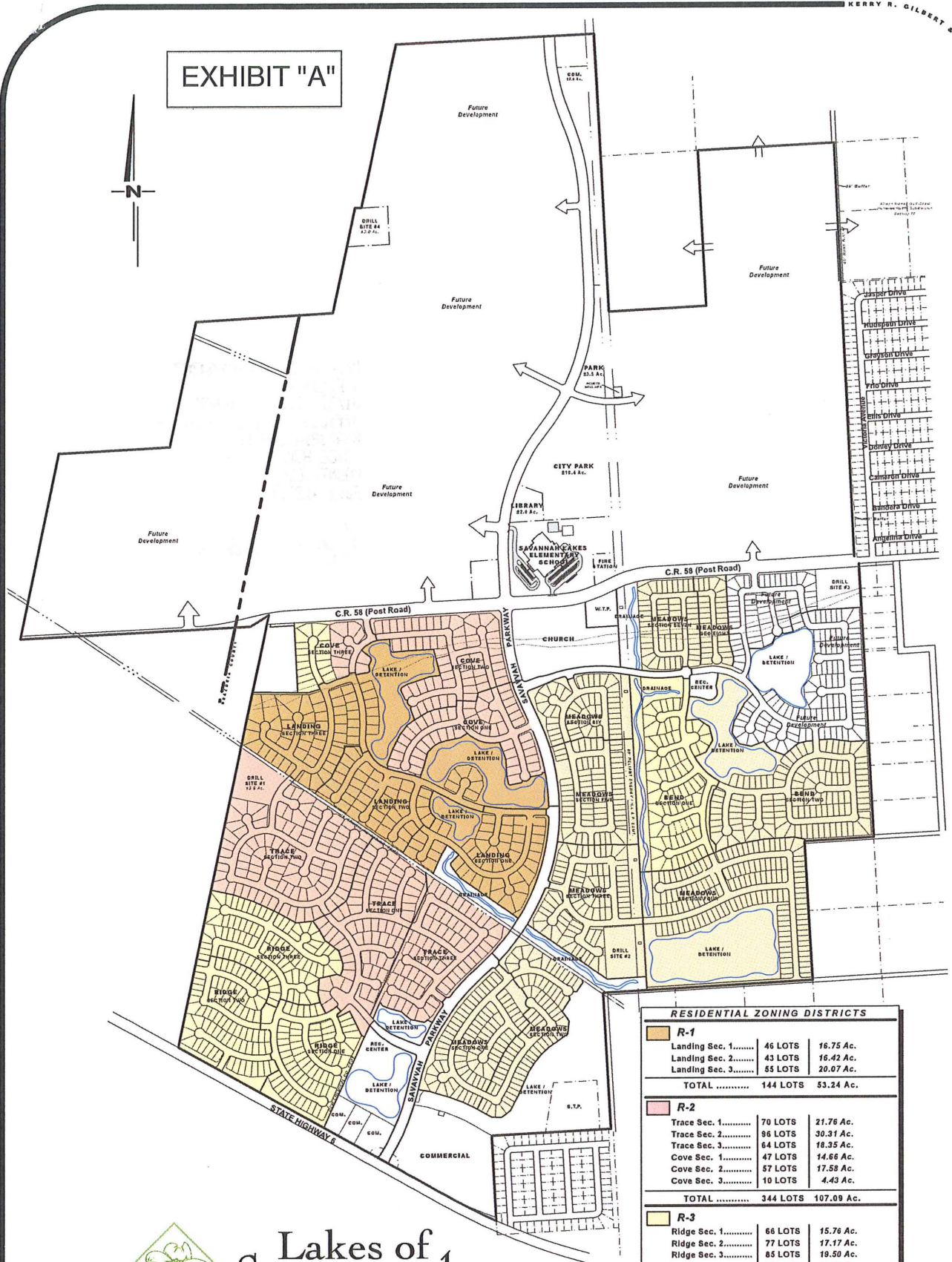
DRIVEWAY DIMENSIONS (THIRD CAR BAY ON INSIDE)
 Figure 3

- c. In the event a Three Car Front-Load Garage is on a Cul-de-Sac, the same dimensioning shall take place. However, depending on the lot, the right of way width and building setback, a 3 Car Front-Load Garage may not be feasible [Figure 4].



DRIVEWAY DIMENSIONS (CUL-DE-SAC LOT)
 Figure 4

EXHIBIT "A"



RESIDENTIAL ZONING DISTRICTS		
R-1		
Landing Sec. 1.....	46 LOTS	16.75 Ac.
Landing Sec. 2.....	43 LOTS	16.42 Ac.
Landing Sec. 3.....	55 LOTS	20.07 Ac.
TOTAL	144 LOTS	53.24 Ac.
R-2		
Trace Sec. 1.....	70 LOTS	21.76 Ac.
Trace Sec. 2.....	96 LOTS	30.31 Ac.
Trace Sec. 3.....	64 LOTS	18.35 Ac.
Cove Sec. 1.....	47 LOTS	14.66 Ac.
Cove Sec. 2.....	57 LOTS	17.58 Ac.
Cove Sec. 3.....	10 LOTS	4.43 Ac.
TOTAL	344 LOTS	107.09 Ac.
R-3		
Ridge Sec. 1.....	66 LOTS	15.76 Ac.
Ridge Sec. 2.....	77 LOTS	17.17 Ac.
Ridge Sec. 3.....	85 LOTS	19.50 Ac.
Bend Sec. 1.....	73 LOTS	20.19 Ac.
Cove Sec. 3.....	16 LOTS	4.43 Ac.
TOTAL	317 LOTS	77.05 Ac.
R-4		
Meadows Sec. 1.....	78 LOTS	15.70 Ac.
Meadows Sec. 2.....	72 LOTS	14.57 Ac.
Meadows Sec. 3.....	75 LOTS	17.52 Ac.
Meadows Sec. 4.....	135 LOTS	26.55 Ac.
Meadows Sec. 5.....	68 LOTS	13.72 Ac.
Meadows Sec. 6.....	46 LOTS	9.89 Ac.
Meadows Sec. 7.....	50 LOTS	10.53 Ac.
Meadows Sec. 8.....	28 LOTS	4.19 Ac.
Bend Sec. 2.....	119 LOTS	26.80 Ac.
TOTAL	671 LOTS	139.47 Ac.
TOTAL	1,476 LOTS	376.85 Ac.



Lakes of Savannah

a exhibit prepared for
FRIENDSWOOD DEVELOPMENT CO.

KERRY R. GILBERT & ASSOCIATES, INC. Land Planning Consultants
23501 Cinco Ranch Blvd.
Suite A-250
Katy, Texas 77494
(281) 578-0240
Fax (281) 578-8212

SCALE
0 25 50

OCTOBER 13, 2011
KGA #4708

THIS DRAWING IS A PRELIMINARY REPRESENTATION FOR PRESENTATION PURPOSES ONLY AND IS SUBJECT TO CHANGE. FURTHER, SAID DRAWING IS A SCAPED IMAGE ONLY AND IS NOT FOR CONSTRUCTION OR CONSTRUCTION PURPOSES. THIS DRAWING MAY OR MAY NOT INCORPORATE UNOBTAINED DATA PROVIDED TO KERRY R. GILBERT & ASSOCIATES, INC. BY OTHER CONSULTANTS RELATIVE TO ENGINEERING AND DRAINAGE, FLOOD PLANS AND ENVIRONMENTAL ISSUES AND SHOULD NOT BE RELIED UPON FOR ANY PURPOSE. NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACTUAL DESIGN, LOCATION, AND CHARACTER OF THE FACILITIES SHOWN ON THIS MAP ARE INTENDED. ADDITIONALLY, NO WARRANTY IS MADE TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

Doc# 2012004076
Pages 29
01/31/2012 11:46AM
Official Public Records of
BRAZORIA COUNTY
JOYCE HUDMAN
COUNTY CLERK
Fees \$120.00

Joyce Hudman